

WESTRIDGE CONDOMINIUMS PHASE II

A PLAT SHOWING
LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
AUGUST 2001



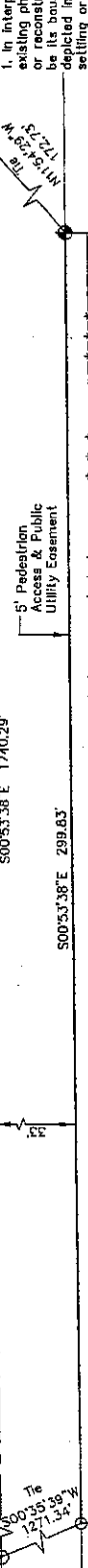
SCALE: 1" = 20'



P.C. Hwy. Sta. 30+67.6

P.T. Hwy. Sta. 13+27.6

BASIS OF BEARINGS PER TWO BRIDGES AT RIVER RUN CONDOMINIUMS



NOTES

1. In interpreting the declaration, plat or plats, and deeds, the existing physical boundaries of the unit, as originally constructed or reconstructed thereon, shall be conclusively presumed to be its boundaries rather than the boundaries as represented or depicted in the declaration, plat or plats, deeds, recorded or unrecorded, or any other instrument, and the actual boundaries of the units in the buildings.
2. Property hereon is subject to the Covenants, Conditions, and Restrictions (CC&Rs) as recorded under instrument No. 451264, records of Blaine County, Idaho, and amendments thereto.
3. Decks and Storage Areas are Unplatted Common per Covenants, Conditions and Restrictions (CC&Rs).
4. All utilities shall be installed underground.
5. Westridge Condominiums, Phase 2, is subject to a Phasing Agreement with the City of Ketchum, recorded under instrument No. 451303; to a Grant of License and Parking Maintenance Agreement, recorded under instrument No. 448025; to an Easement Agreement, recorded under instrument No. 445216; to an Agreement, recorded under instrument No. 393894, records of Blaine County, Idaho; and to an Agreement for Termination and Extinguishment of Snow Storage Easement, recorded under instrument No. 437337, records of Blaine County, Idaho.

UNPLATTED

- ### LEGEND
- Subdivision Boundary
 - Centerline of Right-of-way
 - Building Setback Line
 - 5' Pedestrian Access & Public Utility Easement
 - Easement (Width as Shown)
 - Found Highway Monument
 - Found Brass Cap
 - Found 5/8" Rebar
 - UNIT 10" First Floor Unit
 - UNIT 13" Second Floor Unit
 - [UNITS C & E] Third Floor Units (Commercial)
 - Building - Ground Level
 - Building - Upper Floors
 - Phase Line

HEALTH CERTIFICATE: Sanitary restrictions as required by Idaho Code Title 50, Ch. 13, have been satisfied. Sanitary restrictions may be reimposed in accordance with Idaho Code Title 50, Ch. 13, Sec. 50-1326, by issuance of a Certificate of Disapproval.

Richard D. Fosbury
South Central District Health Dept., EHS

THIS MAP IS A PHOTOGRAPHIC REPRODUCTION OF THAT ON FILE IN EITHER THE RECORDERS OR SURVEYORS OFFICE. THE COMPANY ASSUMES NO LIABILITY FOR VARIATION, IF ANY, WITH ANOTHER INSTRUMENT.



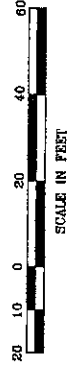
WESTRIDGE CONDOMINIUMS
PHASE II
GALENA ENGINEERING, INC.
KETCHUM, IDAHO
SHEET 1 OF 7
Job No. 4913(C-PlatPh2)

RICHARD D. FOSBURY, L.S. 3621

WESTRIDGE CONDOMINIUMS PHASE II GROUND LEVEL

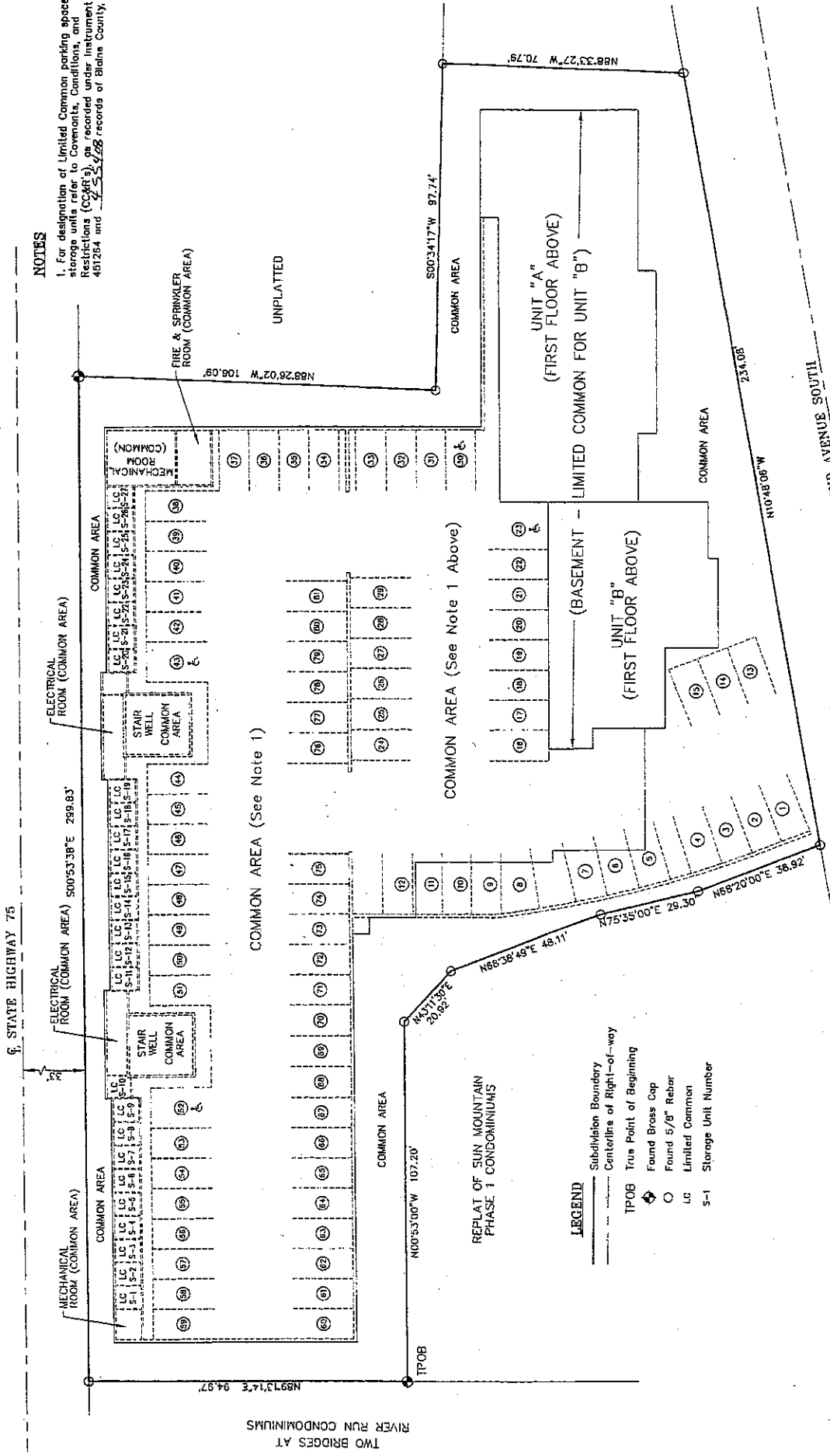
SCALE: 1" = 20'

AUGUST 2001



NOTES

1. For designation of Limited Common parking spaces and storage units refer to Covenants, Conditions, and Restrictions (CC&R's) as recorded under Instrument No. 491284 and 491286 records of Blaine County, Idaho.

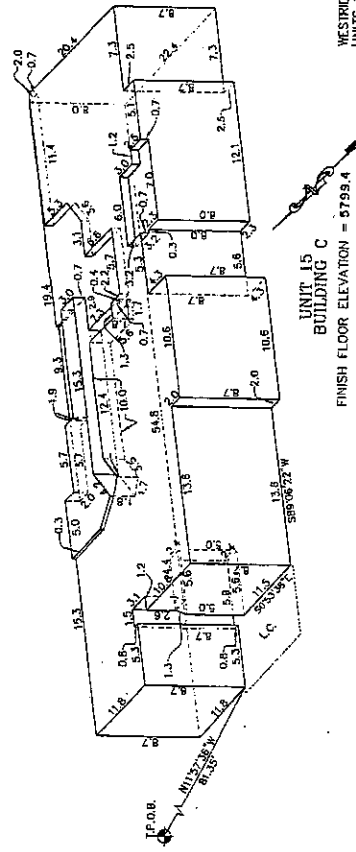
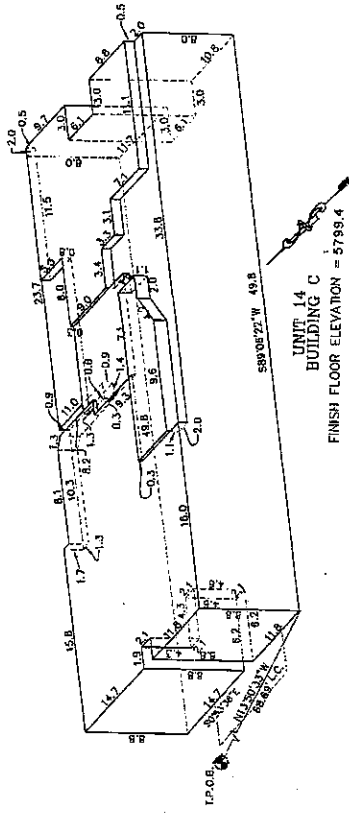
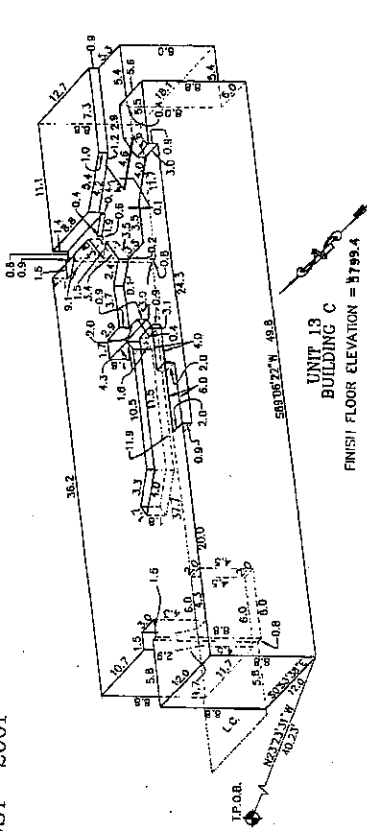
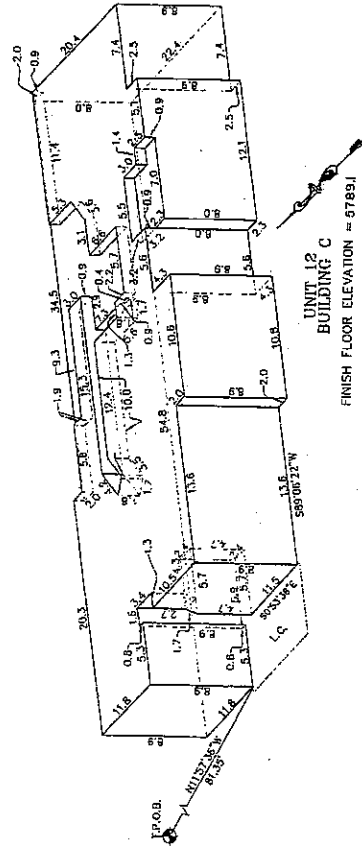
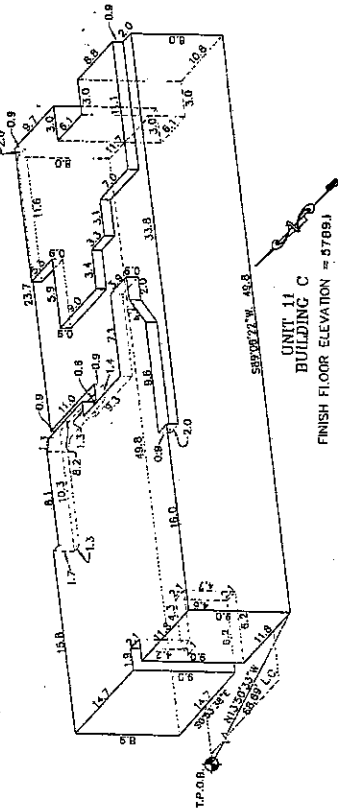
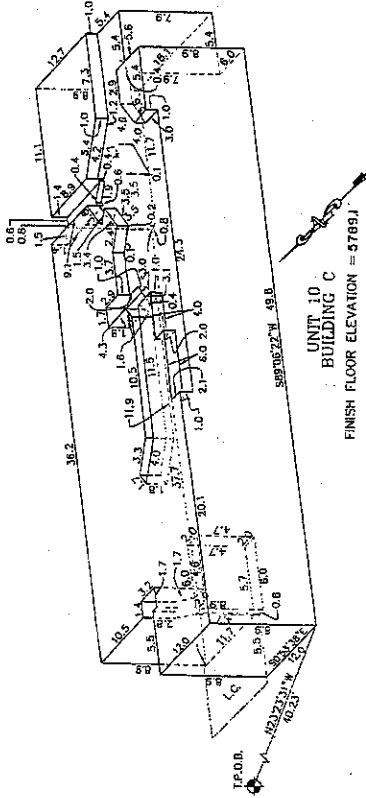


- LEGEND**
- Subdivision Boundary
 - Centerline of Right-of-way
 - True Point of Beginning
 - Found Brass Cap
 - Found 5/8" Rebar
 - LC Limited Common
 - S-1 Storage Unit Number

WESTRIDGE CONDOMINIUMS
PHASE II - GROUND LEVEL
SALENA ENGINEERING, INC.
KETCHUM, IDAHO
SHEET 2 OF 7
Job No. 4915(C-Pld/H2)

WESTRIDGE CONDOMINIUMS PHASE II UNITS 10-15, BUILDING C

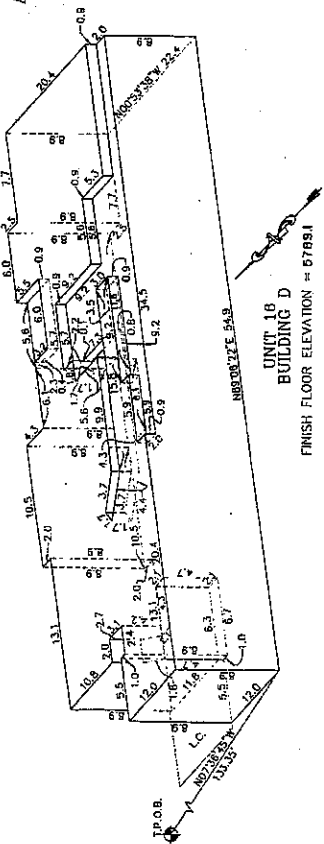
AUGUST 2001



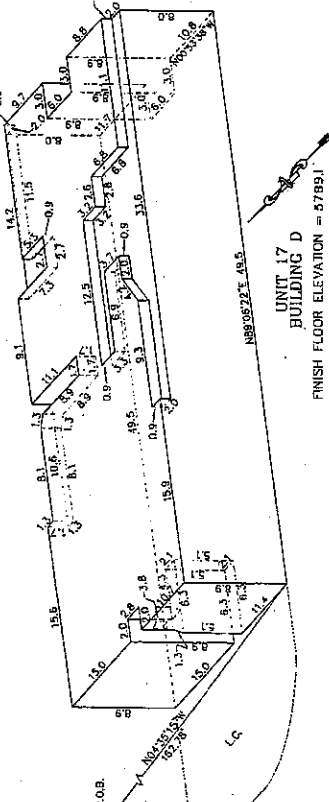
SEE PAGE 6 FOR NOTES & UNIT C

WESTRIDGE CONDOMINIUMS PHASE II UNITS 16-21, BUILDING D

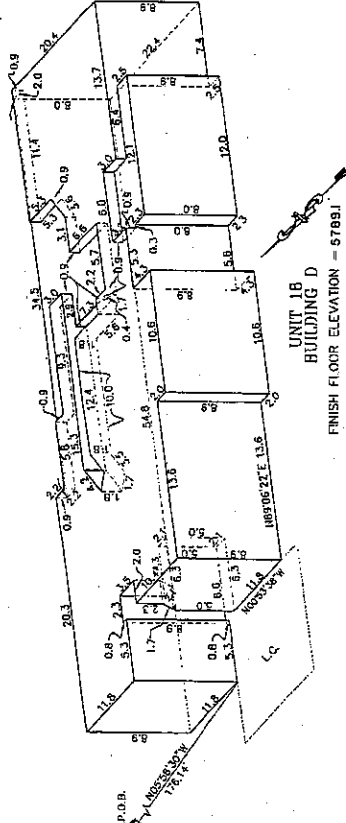
AUGUST 2001



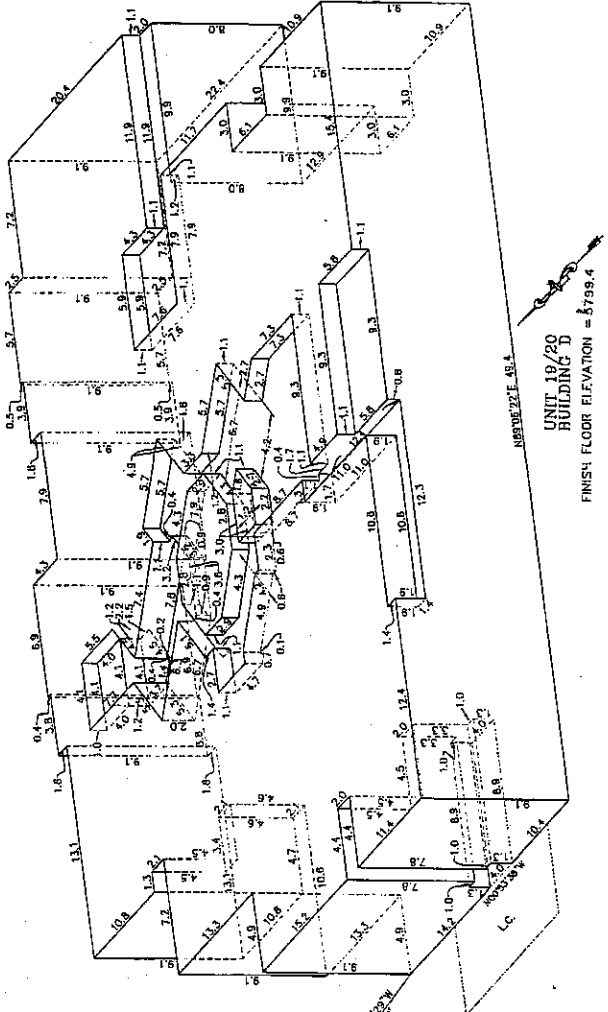
UNIT 16
BUILDING D
FINISH FLOOR ELEVATION = 5789.1



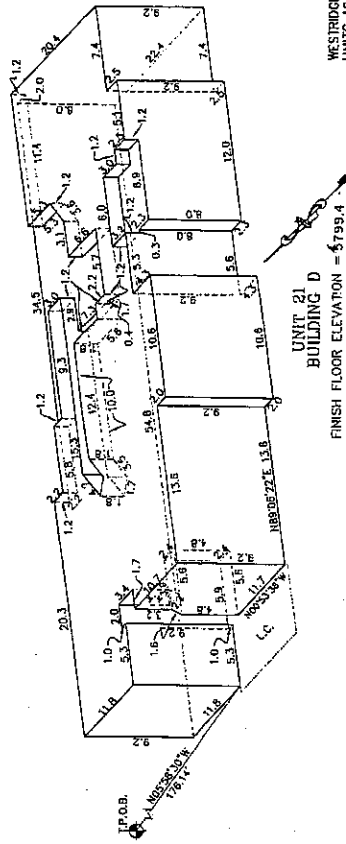
UNIT 17
BUILDING D
FINISH FLOOR ELEVATION = 5789.1



UNIT 18
BUILDING D
FINISH FLOOR ELEVATION = 5789.1



UNIT 19/20
BUILDING D
FINISH FLOOR ELEVATION = 5799.4



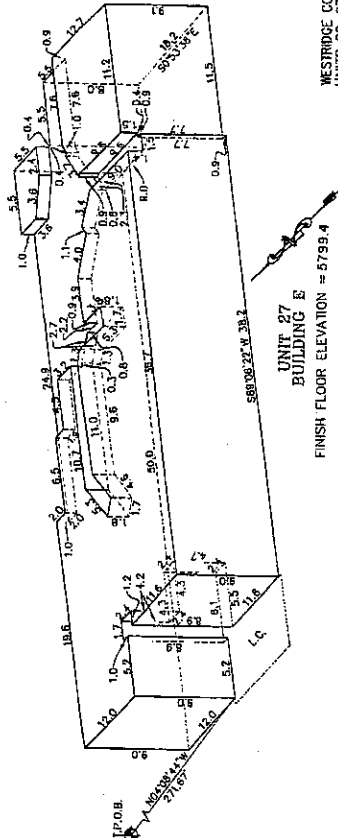
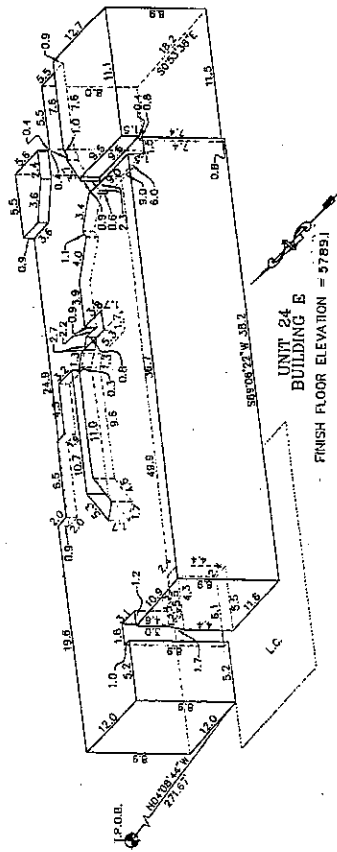
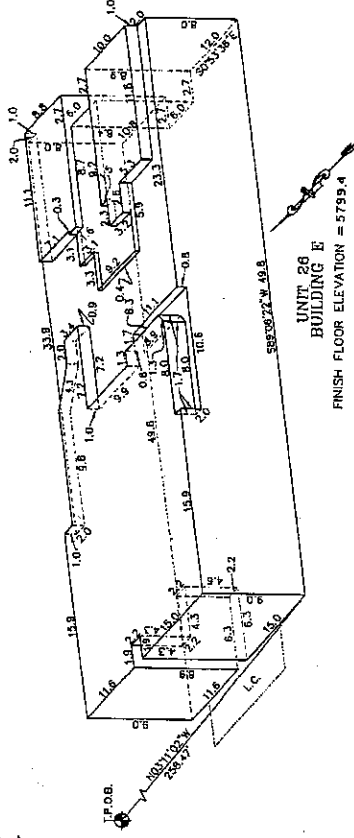
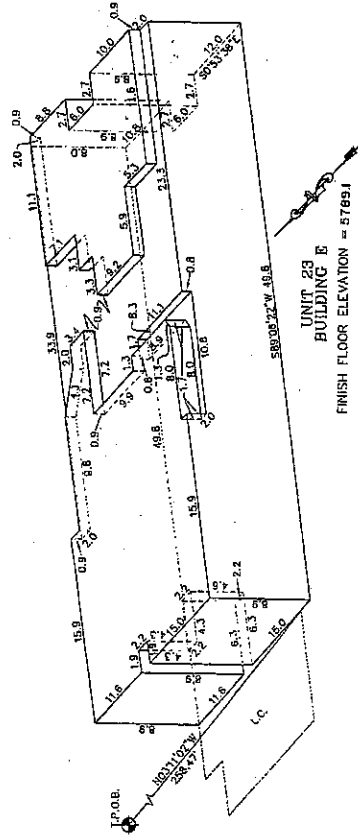
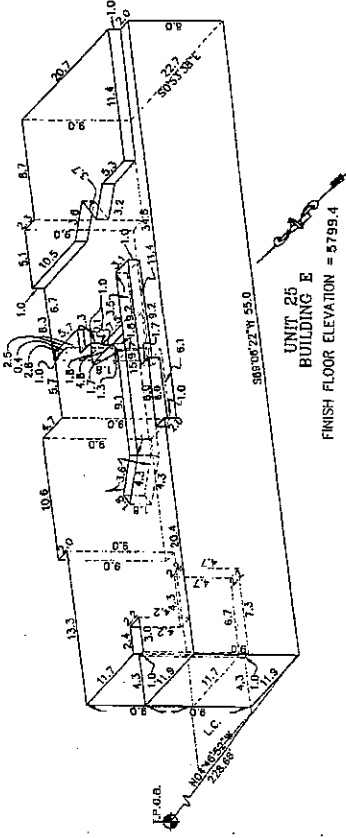
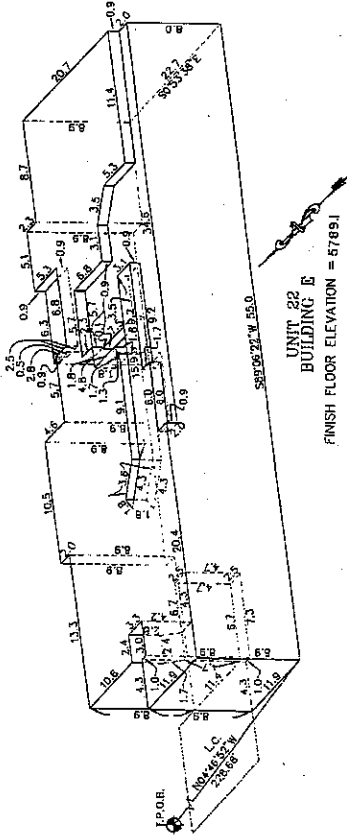
UNIT 21
BUILDING D
FINISH FLOOR ELEVATION = 5799.4

SEE PAGE 6 FOR NOTES

WESTRIDGE CONDOMINIUMS PHASE II
UNITS 16-21, BUILDING D
GALENA ENGINEERING, INC.
KETCHUM, IDAHO
SHEET 4 OF 7
Job No. 4915(C-PlanPh2)

WESTRIDGE CONDOMINIUMS PHASE II UNITS 22-27, BUILDING E

AUGUST 2001

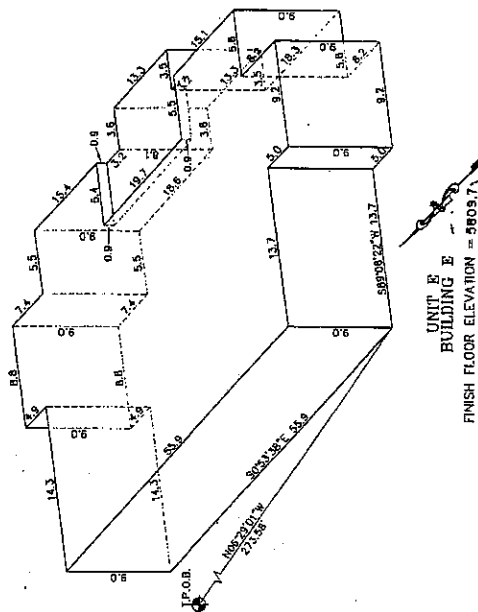
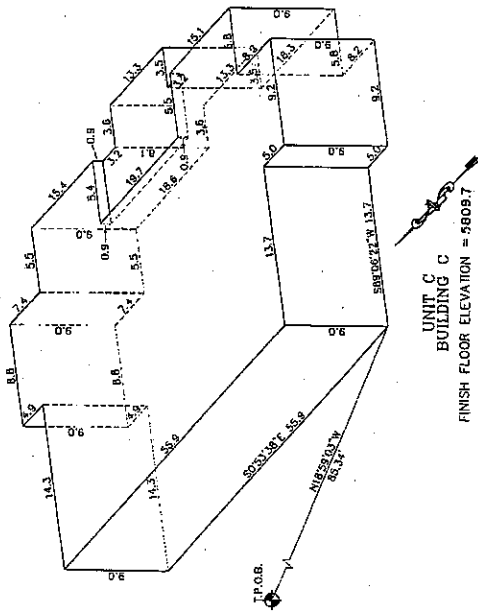


SEE PAGE 6 FOR NOTES & UNIT E

WESTRIDGE CONDOMINIUMS PHASE II
UNITS 22-27, BUILDING E
GALENA ENGINEERING, INC.
RETOHUM, IDAHO
SHEET 5 OF 7
Job No.4915(C-PlatPh2)

WESTRIDGE CONDOMINIUMS PHASE II UNIT C, BUILDING C & UNIT E, BUILDING E

AUGUST 2001



NOTES

1. The elevations shown hereon are referenced to U.S.C. and G.S. Datum of 1929, adjusted 1947.
2. Horizontal planes shown hereon are top of subfloor; vertical planes are finished surfaces of interior walls; sloping planes are bottom of finished ceiling.
3. Some structural members (undisplayed) extend into unit volumes.
4. In interpreting the declaration, plat or plats, and deeds, the existing physical boundaries of the unit as originally constructed, or reconstructed in lieu thereof, shall be conclusively presumed to be its boundaries rather than the metes and bounds expressed or depicted in the declaration, plat or plats, deeds, regardless of settling or lateral movement of the building and regardless of minor variances between boundaries shown in the declaration, plat or plats, deeds, and the actual boundaries of the units in the buildings.
5. Building ties are to the interior corner of walls.

WESTRIDGE CONDOMINIUMS PHASE II
UNIT C, BLDG C & UNIT E, BLDG E
GALENA ENGINEERING, INC.
KETCHUM, IDAHO
SHEET 6 OF 7
Job No.4915(C-PlatPh2)

CERTIFICATE OF OWNERSHIP

This is to certify that the undersigned is the owner in fee simple of the following described parcel of land: The Area Reserved for Future Buildings C, D and E, Units 10-27, Units C & E, as Depicted on "Westridge Condominiums, Phase I" (Instrument Number 451304), as Platted and Recorded.

The easements indicated hereon are not dedicated to the public, but the right to use said easements is hereby reserved for the public utilities and for any other uses indicated hereon and no permanent structures are to be erected within the lines of said easements. Protective covenants governing this Subdivision are recorded under County Recorder Instrument No. 451264.

I do hereby acknowledge that all lots in this plat will be eligible to receive water service from an existing water distribution system and that the existing water distribution system has agreed in writing to serve all of the lots shown within this plat.

It is the intent of the owner to hereby include said land in this plat.

GRANTOR: WESTRIDGE, L.L.C. on Idaho Limited Liability Company

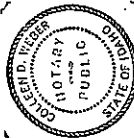
By: Earl Engelmann, Member

ACKNOWLEDGMENT

STATE OF Idaho } ss COUNTY OF Blaine } On this 30th day of August, 2001, before me, a Notary Public in and for said State, personally appeared Earl Engelmann, known or identified to me to be a member of the limited liability company that executed the foregoing instrument, and acknowledged to me that such limited liability company executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Colleen M. Wheeler Notary Public in and for said State Residing in Bellevue My Commission Expires 3/5/04



SURVEYOR'S CERTIFICATE

I, Richard D. Fosbury, a duly licensed Land Surveyor in the State of Idaho, do hereby certify that the foregoing plat is a true and accurate map of the land surveyed under my direct supervision and that it is in accordance with the Idaho State Code relating to plats and surveys.



BLAINE COUNTY SURVEYOR'S APPROVAL

I, Jim W. Koance, County Surveyor for Blaine County, Idaho, have checked the foregoing plat and computations for making the same and have determined that they comply with the laws of the State of Idaho relating thereto.

Jim W. Koance Blaine County Surveyor 8/30/01

KETCHUM CITY ENGINEER'S APPROVAL

The foregoing plat was approved by Duane Cole, City Engineer for the City of Ketchum on this 27th day of September, 2001.

Duane Cole City Engineer



KETCHUM CITY COUNCIL'S APPROVAL

The foregoing plat was approved by the City Council of Ketchum on this 1st day of September, 2001.

Debra E. Cady City Clerk

BLAINE COUNTY TREASURER'S APPROVAL

The taxes on the foregoing parcel of land have been paid to this date and this plat is hereby approved this 30th day of August, 2001.

Blaine County Treasurer

BLAINE COUNTY RECORDER'S CERTIFICATE

STATE OF IDAHO } ss COUNTY OF BLAINE } This is to certify that the foregoing plat was filed in the office of the Recorder of Blaine County, Idaho on this 30th day of August, 2001, at 10:00 A.M., and duly recorded under instrument number

Ex-officio Recorder

Instrument # 465409 FILED BY: BLAINE, IDAHO 04-24-09 No. of Pages: 1 2001-09-12 Recorded for: DALE BETH EISENBERGER, Esq. Fee: \$5.00 Blaine County Recorder, Deputy www.blaine.gov

WESTRIDGE CONDOMINIUMS PHASE II CALENA ENGINEERING, INC. KETCHUM, IDAHO SHEET 7 OF 7 Job No. 4915 (C-Plan 102)